

Date: May 29, 2025
To: Weber County Board of County Commissioners
From: Sean Wilkinson *SW*
Community Development Director
Agenda Date: June 3, 2025
Subject: Request to sell surplus property adjacent to Parcel Number 19-064-0014 to Chromalox, Inc.
Exhibits: A - Aerial Vicinity Map
B - Ownership Plat
C - Purchase and Sale Agreement/Quit Claim Deed

Summary:

Weber County may have an ownership interest in the property described below, which Chromalox, Inc. is interested in purchasing. The property is located in the Weber Industrial Park (see Exhibit B) and is shown on the subdivision dedication plat as a 50 foot wide Union Pacific Railroad right of way. To the extent that Weber County has an ownership interest, it has no intended use for this property. Therefore, the parcel was declared surplus on May 20th. The fair market value was determined through an appraisal, consistent with Sec. 2-21-2(d)(1), or the County's surplus property code. It is recommended that the County Commission sell the property to Chromalox, Inc. for \$20,500.

Property Description:

Parcel Number: No Parcel Number (Adjacent to 19-064-0014)

A strip of land, being a part of the 50.0 foot wide U.P.P.R. Right-of-Way delineated on the Official Plat of Weber Industrial Park Plat 'B' recorded as Entry No. 685697 in Book 20 of Plats at Page 5 in the Official Records of Weber County, located within the Southeast Quarter of Section 36, Township 7 North, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, in Weber County, Utah:

Beginning at the most Northerly Corner of Lot 34 of said Weber Industrial Plat 'B', located 1365.13 feet North 89°34'13" West along the Section line; and 2901.35 feet South 0°25'47" West from a Brass Cap monument found marking the Northeast corner of said Section 36; and running thence South 54°59'59" West 741.46 feet along the Northwesterly line of said Lot 34 to the most Westerly Corner thereof on the Northeasterly line of Rulon White Boulevard (1500 West Street) as it exist at 40.00 foot half-width; thence North 24°34'01" West 50.81 feet along said Northeasterly line to the most Southerly Corner of Lot 10 of Weber Industrial Park Plat 'A' recorded as Entry No. 661691 in Book 19 of Plats at Page 44 in the Official Records of Weber County; thence North 54°59'59" East 741.46 feet along the Southeasterly line of said Lot 10 to the most Easterly Corner thereof; thence South 24°34'01" East 50.81 feet to said most Northerly Corner of Lot 34 and the point of beginning.

[illegible]

North Quarter Corner of Section 36,
T7N, R2W, SLB&M, U.S. Survey
(Found 2019 Weber County Brass Cap)

25
N 89°34'13" W
36 **Exhibit B**

Northeast Corner of Section 36,
T7N, R2W, SLB&M, U.S. Survey
(Found Brass Cap Monument)

25 30
36 31

*Lot 10, Weber Industrial
Park - Plat "A"*

50' wide Union Pacific
Railroad Right-of-Way
per Plat B

3339.16'
5429.15' measured Ground

312.07'
307.32'
21.72'
S 12°08'00" E

*Lot 34, Weber Industrial
Park - Plat "B"*

20.35'
N 24°34'01" W
N 54°59'59" E
Point of Beginning
S 54°59'59" W

N 89°20'14" W
Northwest corner, Lot 34.

1955.72'

Southeast Corner Section 36,
T7N, R2W, SLB&M, U.S. Survey
(Found Brass Cap Monument)

36 31
1 6

Rulon White Boulevard
(1500 West Street)

Scale: 1" = 100'



2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

**Weber County Industrial
Development Bureau, a corporation
Chromalox**

2150 Rulon White Blvd
Ogden, UT 84404

Sheet No.

**1
of
2**

Designed By: DH

Drafted By: SL

Client Name:
Chromalox

22-138 Chrom EX.

26 Feb, 2025

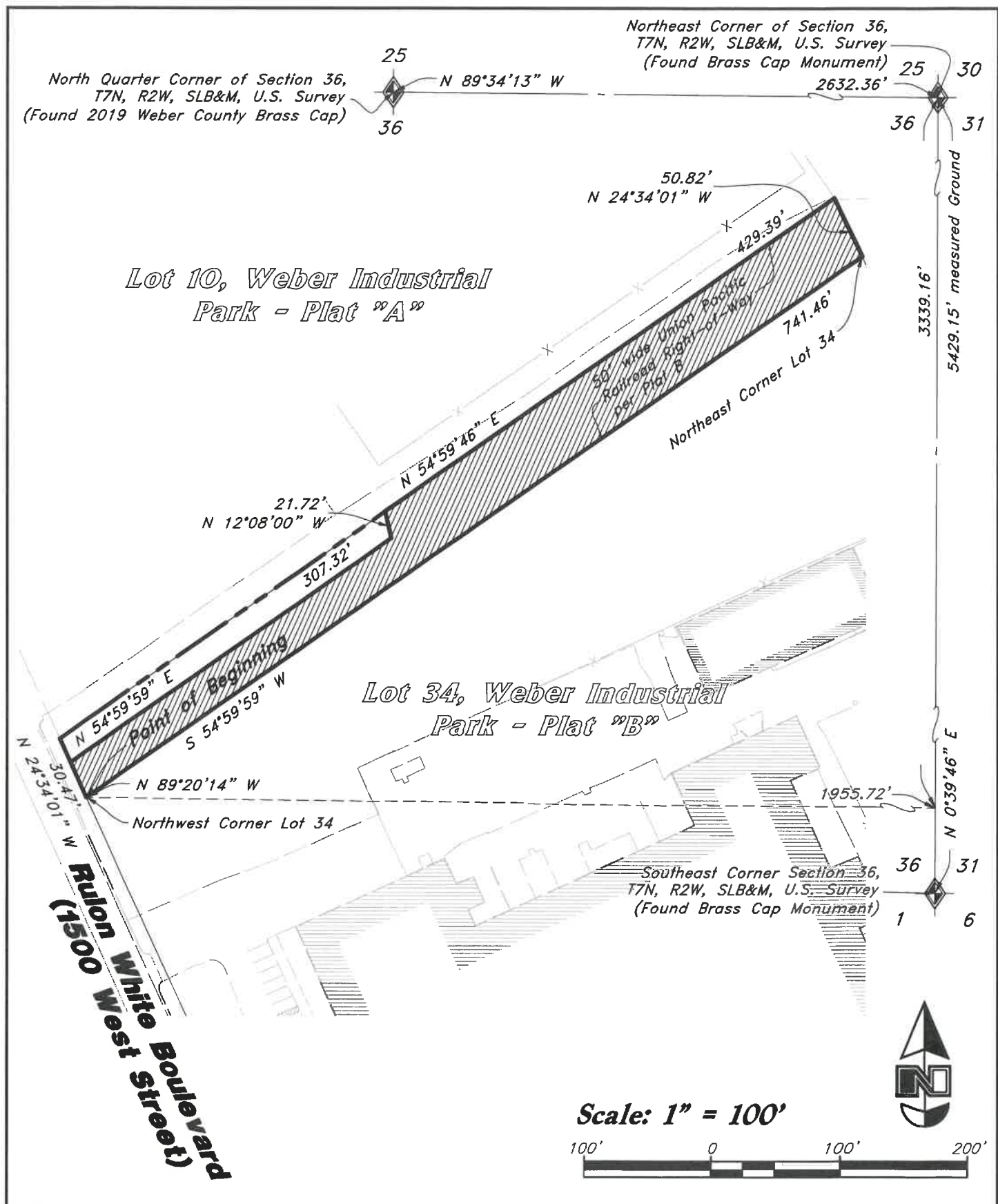


Exhibit C

REAL ESTATE PURCHASE AND SALE AGREEMENT BY AND BETWEEN WEBER COUNTY AND CHROMALOX, INC.

THIS REAL ESTATE PURCHASE AND SALE AGREEMENT (hereinafter "Agreement") is made and entered into on the ____ day of _____, 2025 (hereinafter "Effective Date"), by and between Weber County, a body politic, corporate, and political subdivision of the State of Utah (hereinafter "County") and Chromalox, Inc., a Delaware corporation (hereinafter "Buyer").

RECITALS

WHEREAS, Buyer has requested that County quit-claim to Buyer certain real property located in Weber County, the relevant history of which property is set forth in the Deed (as hereinafter defined); and

WHEREAS, County declared such property as surplus to its needs on May 21, 2025; and

WHEREAS, Buyer now desires to purchase such property according to the terms and conditions more particularly set forth herein; and

NOW, THEREFORE, it is hereby acknowledged and agreed by and between the parties hereto as follows:

SECTION ONE DESCRIPTION OF PROPERTY

The real property, which is the subject of this Agreement, is described as follows:

Parcel Number: 19-064-0014

A strip of land, being a part of the 50.0 foot wide U.P.P.R. Right-of-Way delineated on the Official Plat of Weber Industrial Park Plat 'B' recorded as Entry No. 685697 in Book 20 of Plats at Page 5 in the Official Records of Weber County, located within the Southeast Quarter of Section 36, Township 7 North, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, in Weber County, Utah:

Beginning at the most Northerly Corner of Lot 34 of said Weber Industrial Plat 'B', located 1365.13 feet North 89°34'13" West along the Section line; and 2901.35 feet South 0°25'47" West from a Brass Cap monument found marking the Northeast corner of said Section 36; and running thence South 54°59'59" West 741.46 feet along the Northwesterly line of said Lot 34 to the most Westerly Corner thereof on the Northeasterly line of Rulon White Boulevard (1500 West Street) as it exist at 40.00 foot half-width; thence North 24°34'01" West 50.81 feet along said Northeasterly line to the most Southerly Corner of Lot 10 of Weber Industrial Park Plat 'A' recorded as Entry No. 661691 in Book 19 of Plats at Page 44 in the Official Records of Weber County; thence North 54°59'59" East 741.46 feet along the Southeasterly line of said Lot 10 to the most Easterly Corner thereof; thence South 24°34'01" East 50.81 feet to said most Northerly Corner of Lot 34 and the point of beginning.

**SECTION TWO
PURCHASE PRICE AND TERMS**

The purchase price for the above-described property is Twenty Thousand Five hundred dollars (\$20,500). The County shall convey the real property to Buyer by Quit Claim Deed (the "Deed"), in the form attached hereto as Exhibit A and incorporated herein, upon receipt of the full purchase price.

The closing of this transaction shall occur on the Effective Date. The Closing shall take place as a remote closing coordinated by Chicago Title Insurance Company through its agent, Cottonwood Title Insurance Agency, Inc. (collectively, the "Title Company"), or by such other method as the parties may agree.

In addition to the Deed, County shall execute and/or deliver to Buyer and/or the Title Company, as applicable, (a) a standard form owner's affidavit, (b) a settlement statement, (c) an IRS Form W-9, and (d) any other customary document reasonably requested by the Title Company to effectuate this transaction.

In addition to the Purchase Price, Buyer shall execute and/or deliver to County and/or the Title Company, as applicable, (a) a settlement statement, and (b) any other customary document reasonably requested by the Title Company to effectuate this transaction.

**SECTION THREE
INDEMNIFICATION**

Buyer agrees to indemnify, and hold harmless County, its officers, agents, and employees from and against any claims or suits that arise as a result of this purchase and sale transaction.

**SECTION FOUR
NO WARRANTIES**

The County does not warrant or guarantee that the property is free from easements, covenants, mortgages, liens, or other encumbrances, nor does the County make any other covenants or warranties concerning the property.

**SECTION FIVE
GOVERNING LAW**

The laws of the State of Utah shall govern the validity, construction, enforcement, and interpretation of this Agreement.

**SECTION SIX
ENTIRE AGREEMENT**

This Agreement constitutes the entire Agreement by and between the parties hereto with respect to the subject matter hereof, and no other statement, whether written or oral, shall be deemed a part of this Agreement unless specifically incorporated herein by reference. This Agreement supersedes any and all other agreements, negotiations, or understandings between the parties with respect to the subject matter hereof.

[Remainder of Page Intentionally Left Blank; Signatures Follow]

**EXHIBIT A
FORM OF DEED**

[SEE ATTACHED]

RECORDED AT THE REQUEST OF
AND WHEN RECORDED MAIL TO:

K&L Gates LLP
925 Fourth Avenue, Suite 2900
Seattle, WA 98104
Attn: Landon O. Sullivan, Esq.

MAIL TAX NOTICES TO:

Chromalox, Inc.
103 Gamma Drive
Pittsburgh, PA 15238

PARCEL NO.: 19-064-0014

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

QUIT CLAIM DEED

Made the ____ day of _____, 2025, between

WEBER COUNTY, a body politic, corporate, and political subdivision of the State of Utah,
having a mailing address of 2380 Washington Blvd. #360, Ogden, UT 84401

(hereinafter called "Grantor"),

AND

CHROMALOX, INC., a Delaware corporation, having a mailing address of 103 Gamma Drive,
Pittsburgh, PA 15238

(hereinafter called "Grantee").

WHEREAS, by Deed dated December 12, 1969 and recorded on January 25, 1974 in the Office of the Recorder of Weber County, Utah (the "Recorder's Office") as Entry No. 608352 in Deed Book 1044 at Page 549, Allen E. Taylor and Mary Taylor conveyed to Weber County Industrial Development Bureau ("WCIDB") certain real property described therein situated in the County of Weber and State of Utah (the "Original WCIDB Property");

WHEREAS, by Deed dated March 31, 1973 and recorded on May 16, 1975 in the Recorder's Office as Entry No. 637886 in Deed Book 1086 at Page 254, WCIDB quit-claimed to Grantor certain real property described therein situated in the County of Weber and State of Utah (the "1975 County Property");

WHEREAS, by Deed dated July 12, 1976 and recorded on July 21, 1976 in the Recorder's Office as Entry No. 670812 in Deed Book 1135 at Page 149, Emerson Electric Co. conveyed to Grantor certain real property described therein situated in the County of Weber and State of Utah (together with the 1975 County Property, collectively, the "Original County Property");

WHEREAS, by Articles of Amendment, to its Articles of Incorporation, dated December 15, 1987 and filed on December 18, 1987 with the Division of Corporations and Commercial Code of the Utah Department of Commerce, WCIDB changed its name to Weber Economic Development Corporation ("WEDC");

WHEREAS, according to the official records of the Recorder's Office, and according to the plats attached hereto as Exhibits A-1 and A-2 and incorporated herein, (i) the Original WCIDB Property included (among other property), and WEDC owned (prior to the recording of the WEDC/OIDC Deed, as defined below), the hatched area depicted on Exhibit A-1 attached hereto and incorporated herein (the "WCIDB Area"), and (ii) the Original County Property included (among other property), and Grantor still owns (until the recording of this Deed), the hatched area depicted on Exhibit A-2 attached hereto and incorporated herein (the "County Area");

WHEREAS, Grantee approached Grantor about acquiring the County Area, and Grantee also approached WEDC and WEDC's intended successor, Ogden Industrial Development Corporation ("OIDC"), about acquiring the WCIDB Area, which collectively form a single strip of land that abuts other real property owned by Grantee;

WHEREAS, by Deed dated [____], 2025 and recorded on [____], 2025 in the Recorder's Office as Entry No. [____], WEDC and OIDC quit-claimed to Grantee both the WCIDB Area and, for certainty and safe measure, any interest they may have in the County Area, all as more fully set forth in such Deed (the "WEDC/OIDC Deed");

WHEREAS, Grantor has likewise agreed to quit-claim to Grantee both the County Area and, for certainty and safe measure, any interest Grantor may have in the WCIDB Area; and

WHEREAS, the County Area and the WCIDB Area are collectively described as a single strip of land on Exhibit B attached hereto and incorporated herein (the "Property").

NOW THEREFORE, WITNESSETH, that Grantor, in consideration of the sum of ONE DOLLAR (\$1.00), paid to Grantor by Grantee, the receipt and sufficiency of which are hereby acknowledged, and intending to be legally bound, hereby **QUIT-CLAIMS** to Grantee, its successors and assigns, the Property, together with all improvements thereon and appurtenances thereto.

[SIGNATURE PAGE FOLLOWS]

IN WITNESS WHEREOF, Grantor has executed this Quit Claim Deed as of the date first written above.

GRANTOR:

WEBER COUNTY,
a body politic, corporate, and
political subdivision of the State of Utah

By: _____
Sharon A. Bolos,
Chair of the Board of County Commissioners

ATTEST:

Ricky D. Hatch, CPA
Weber County Clerk/Auditor

This ____ day of _____, 2025.

EXHIBIT A-1

Depiction of the WCIDB Area

[SEE ATTACHED]

North Quarter Corner of Section 36,
T7N, R2W, SLB&M, U.S. Survey
(Found 2019 Weber County Brass Cap)

25

N 89°34'13" W

36

Northeast Corner of Section 36,
T7N, R2W, SLB&M, U.S. Survey
(Found Brass Cap Monument)

2632.36'

25

30

36

31

*Lot 10, Weber Industrial
Park - Plat "A"*

50' wide Union Pacific
Railroad Right-of-Way
per Plat B

3339.16'

5429.15' measured Ground

312.07'

307.32'

21.72'
S 12°08'00" E

20.35'
N 24°34'01" W

N 54°59'59" E

S 54°59'59" W

N

24°34'01" W

30.47'

Point of Beginning

N 89°20'14" W

Northwest corner, Lot 34.

*Lot 34, Weber Industrial
Park - Plat "B"*

1955.72'

Southeast Corner Section 36,
T7N, R2W, SLB&M, U.S. Survey
(Found Brass Cap Monument)

36

31

1

6

**Rulon White Boulevard
(1500 West Street)**



Scale: 1" = 100'



2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

**Weber County Industrial
Development Bureau, a corporation
Chromalox**

2150 Rulon White Blvd
Ogden, UT 84404

Sheet No.

**1
of
2**

Designed By: DH

Drafted By: SL

Client Name:
Chromalox

22-138 Chrom EX.

26 Feb, 2025

EXHIBIT A-2

Depiction of the County Area

[SEE ATTACHED]

North Quarter Corner of Section 36,
T7N, R2W, SLB&M, U.S. Survey
(Found 2019 Weber County Brass Cap)

25
N 89°34'13" W
36

Northeast Corner of Section 36,
T7N, R2W, SLB&M, U.S. Survey
(Found Brass Cap Monument)

25 30
36 31
2632.36'

*Lot 10, Weber Industrial
Park - Plat "A"*

50.82'
N 24°34'01" W

429.39'
741.46'
Northeast Corner Lot 34
50' wide Union Pacific
Railroad Right-of-Way
per Plat B

21.72'
N 12°08'00" W

307.32'

N 54°59'46" E

N 54°59'59" E
Point of Beginning
S 54°59'59" W

N 89°20'14" W
Northwest Corner Lot 34

*Lot 34, Weber Industrial
Park - Plat "B"*

1955.72'

Southeast Corner Section 36,
T7N, R2W, SLB&M, U.S. Survey
(Found Brass Cap Monument)

3339.16'
5429.15' measured Ground

N 0°39'46" E

N 24°34'01" W
Rulon White Boulevard
(1500 West Street)

Scale: 1" = 100'



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**Weber County, a
political subdivision**

Chromalox

2150 Rulon White Blvd
Ogden, UT 84404

Sheet No.

**2
of
2**

Designed By: DH

Drafted By: SL

Client Name:
Chromalox

22-138 Chrom EX.

26 Feb, 2025

EXHIBIT B

Legal Description of the Property

A strip of land, being a part of the 50.0 foot wide U.P.P.R. Right-of-Way delineated on the Official Plat of Weber Industrial Park Plat 'B' recorded as Entry No. 685697 in Book 20 of Plats at Page 5 in the Official Records of Weber County, located within the Southeast Quarter of Section 36, Township 7 North, Range 2 West, Salt Lake Base and Meridian, U.S. Survey, in Weber County, Utah:

Beginning at the most Northerly Corner of Lot 34 of said Weber Industrial Plat 'B', located 1365.13 feet North $89^{\circ}34'13''$ West along the Section line; and 2901.35 feet South $0^{\circ}25'47''$ West from a Brass Cap monument found marking the Northeast corner of said Section 36; and running thence South $54^{\circ}59'59''$ West 741.46 feet along the Northwesterly line of said Lot 34 to the most Westerly Corner thereof on the Northeasterly line of Rulon White Boulevard (1500 West Street) as it exist at 40.00 foot half-width; thence North $24^{\circ}34'01''$ West 50.81 feet along said Northeasterly line to the most Southerly Corner of Lot 10 of Weber Industrial Park Plat 'A' recorded as Entry No. 661691 in Book 19 of Plats at Page 44 in the Official Records of Weber County; thence North $54^{\circ}59'59''$ East 741.46 feet along the Southeasterly line of said Lot 10 to the most Easterly Corner thereof; thence South $24^{\circ}34'01''$ East 50.81 feet to said most Northerly Corner of Lot 34 and the point of beginning.